

Denton County  
Government Center  
Frisco

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Schematic Design  
Report

Prepared for  
**Denton County**

RFQ #08-13-2203

Prepared by



Project #13342  
April 15, 2014



April 15, 2014

Mr. Michael Tubiolo  
Construction Manager  
Denton County  
750 S. Mayhill Rd  
Denton, TX 76208-6314

Re: Denton County Government Center – Frisco  
Schematic Design Report  
Denton County RFQ Number: 08-13-2203  
EIKON Project Number: 13342

Mr. Tubiolo,

Per the agreement between Denton County and EIKON for the project referenced above, this submittal contains the Schematic Design Report. If acceptable to you, please submit this to the Commissioners Court for approval of the Schematic Design.

We truly enjoy working with Denton County and we look forward to the next phase of this project!

Respectfully Submitted,

A handwritten signature in blue ink that reads "Brad Isbell".

Brad Isbell  
Vice President/Project Manager  
EIKON Consultant Group

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## 1.0 INTRODUCTION

The Denton County Government Center Frisco site is located near the intersection of Lebanon Road and FM 423 in Frisco, Texas. The project consists of a new approximately 24,000 square foot facility to replace the existing facility at The Colony. It will provide services from the Justice of the Peace, County Constable, County Clerk, Tax Office, and Adult and Juvenile Probation (no sex offenders will be reporting to this site). The State Representative will also have an office in this building along with the County Commissioner.

The design team met with Denton County Commissioner Ron Marchant and Hugh Coleman, Michael Tubiolo, and user groups on a regular basis from February 3, 2014 until March 24, 2014 to identify goals for the project. The design team met with the Steering Committee on April 15, 2014 to present plans developed from prior meetings and prepared the schematic design. Existing plans for the Government Center – Flower Mound provided by the County were adapted to fit the site and also the County services planned for this facility.

Contained within this report are details related to the design contributing to the development of this project. The narratives focus on each design specialty. Supporting documents are provided in the appendices. Schematic architectural renderings and floor plans are provided in Appendix A through D.

## 2.0 ARCHITECTURAL NARRATIVE

### Overview

This architectural schematic design illustrates new construction for the Denton County Government Center – Frisco located near the intersection of Lebanon Road and FM 423 in Frisco, Texas. The design incorporates the following programmatic components:

- Adult Probation
- Commissioner
- Constable
- County Clerk
- Justice of the Peace
- Juvenile Probation
- State Representative
- Tax Office
- Video Visitation

Denton County Government Center Frisco staff has directed that the new spaces be developed based on the following guiding principles:

- Design efficiency in space allocation of each component.
- Plan for potential growth.
- Large staging areas for the facility.
- Clarity of way finding for visitors.
- Plan for security and after-hours access for the required components.

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## **Building Access**

Most of the programmatic groups comprised within the facility will hold normal weekly office hours. The tax office will continue to see those waiting after the stated closing time. Those needing to provide after-hours activity are as follows:

- Video Visitation will have after-hours and weekend activity.
- Juvenile Probation will have after-hours visitors but no weekend activity.
- The conference room may have after-hours use.
- Adult Probation will have after-hours but no weekend activity.

The design will include after-hour entrances and security to those areas of the building not included. Way finding will be important to direct after-hour visitors to the appropriate entrances and exits.

## **Interior Materials**

The interior of the Denton County Government Center – Frisco building will consist of durable and long-lasting finishes consistent with those found in contemporary county and government facilities. The majority of flooring will be finished in stained concrete in public areas, broadloom carpet in offices, and porcelain tile in the restrooms. Wall finishes will be painted gypsum board, and porcelain tile in restrooms. Millwork and casework will be constructed of hardboard, particleboard and or fiberboard, clad in high pressure decorative laminate complying with AWI standards with solid surface countertops. Interior doors will be solid core wood doors, with window openings in heavy-duty commercial grade hardware. All suite doors will be wood doors with large glass vision panels exhibiting the county emblem with the suite name frosted on the glass.

All millwork and casework in the court room will be wood with solid surface counters in the court room. The flooring will be carpet with upholstered chairs to compliment the carpet selection.

## **Exterior Materials**

Exterior construction will be metal stud framing with red brick and caramel manufactured stone veneer in an insulated cavity wall. Aluminum storefront systems will be used at the entries. All glazing will be insulated in thermally broken aluminum frames. Exterior doors will be heavy-duty steel or aluminum systems to withstand high frequency use, while utility doors will be hollow metal. Roofs and dormers will be sloped and finished with standing seam metal panels. All exterior materials will be designed to comply with the façade composition design standards from the City of Frisco zoning ordinance.

## **Miscellaneous Improvements**

A new monument sign will be installed near the front entrance. Also, a monument sign will run perpendicular to FM 423 as a shared sign for the development to be installed by the developer. On the site will be a monument sign composed of materials consistent with the aesthetic palate of the proposed building.

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### 3.0 CIVIL NARRATIVE

The site is an approximately 3.5 acre tract within an existing retail development called Waterstone 423 currently operated by Waterstone 423 Partners, LP. The tract is the southernmost tract with three access points; one with access to Deerwood Lane on the west, one with access to FM 423 on the east, and one northern point of entry which ties into an existing circulation path for the development that exits to Lebanon Road. The existing topography falls from the northwest to the southeast where there is an existing swale that feeds into a detention basin serving the southern residential neighborhood. The site grading will follow this same pattern as close as possible to reduce the quantity of fill required at the site. The construction will consist of paving and grading, water distribution, sanitary sewer collection, and stormwater conveyance systems. Each will meet the current City of Frisco design criteria and the regulations provided by the TCEQ. Below is further discussion related to each of these systems.

In review of the City's Development Ordinances, the proposed expansion at most requires 69 parking stalls based on the current land use. The City's ordinance does not limit the number of parking stalls that may be provided for this type of occupancy. However, they provide additional landscaping requirements for developments with more than 100 parking stalls. Based on discussions with the County and the amount of traffic currently observed at The Colony facility, 92 parking stalls are proposed, which includes 4 accessible parking stalls. Per the current Texas Accessibility Standards, 4 stalls are required for the number of parking stalls provided.

Waterstone 423 is an existing retail development. The City of Frisco has additional permitting requirements, which include construction components that may be required as part of this project. These may include some or all of the following:

- A revised site plan to amend the existing Waterstone 423 site plan. This plan will be created with cooperation from the Waterstone 423 Partners, LP.
- A revised conveyance plat to amend the existing plat, also with cooperation from Waterstone 423 Partners, LP.
- A 12-inch waterline connecting existing onsite waterlines to complete a fire waterline loop.
- Up to two right deceleration lanes for the existing driveways on FM 423.

Commissioner Hugh Coleman has had discussions with the Frisco Economic Development Corporation (EDC) to determine if the Corporation can provide assistance with the construction costs of some of the items listed above. EIKON provided a summary document for the board to review at their April meeting. The document provided contains details of the project, the components the County would like assistance constructing, and an approximate construction value of the construction. At the time of this report, the EDC has not made a decision regarding their assistance with the construction.

EIKON is also working with Waterstone 423 Partners, LP to create a final drainage plan for the remaining undeveloped retail tract. EIKON has been given permission by Commissioner Marchant to provide reasonable drainage accommodations with County

approval. At this time, the design and construction expenses associated with this work will be provided by Waterstone 423 Partners, LP.

### **General Site Construction**

- All construction will be per the City of Frisco standard details.
- New site parking lot paving will be 5-inches thick. The 24-foot wide drive aisles will be 6 inches thick to support emergency vehicles.
- All of the parking area proposed will have 6-inch concrete curbs at the perimeter.
- All disturbed areas will be sodded with Bermuda grass. Trees, shrubs and additional site landscaping will be provided using the City of Frisco design criteria.

### **Waterline**

- The site will be served by extending the existing 12-inch waterline into the site to provide both domestic and fire sprinkler support. Other components of the fire protection system are a backflow preventer, 1 fire department connection and 2 site fire hydrants.
- All water distribution piping will be C-900 pipe.

### **Sanitary Sewer**

- All sanitary sewer piping will be SDR 35. The main trunk lines will be 6-inch. Lateral lines serving the building will be 6-inch.
- Sanitary collection systems will flow to the existing sanitary sewer line located at the southeast corner of the site.

### **Storm Sewer**

- **Parking Area:** The paving will be graded to direct drainage toward the perimeter of the tract where it will either be collected in an inlet, or flow through a water resource landscape zone as required by the City.
- **Site Grading and Drainage:** Site grading will be utilized as much as possible to reduce the amount of underground collection systems. A new drainage collections system will be provided to collect future drainage from the northern 5 acre tract, drainage from the east side of the tract, and will outfall into the existing swale located in the southeast corner of the tract. Based on information provided by the City, the runoff may be released without detention if the outfall occurs at the Corp of Engineers Drainage Easement. This easement exists in the location of the proposed outfall.
- **Roof Drainage:** The roof drainage, as much as feasible, will be collected underground with piping and into the drainage collection system utilizing 6-inch HDPE.

## **4.0 STRUCTURAL NARRATIVE**

### **Main Building**

#### **Foundation System**

- Concrete piers at columns and throughout the slab area at approximately 14'-0" oc.
- Structurally suspended slab over void boxes. Slab estimated to be 7 inches thick.
- Grade beams suspended over void boxes.

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### Framing System

- Structural steel beams and columns will form the roof structure support system.
- Roof will consist of light gage trusses spaced at 2'-0" oc.

### Main Entrance Canopy

#### Foundation System – Piers

- It is estimated that the columns for the canopy will be supported on piers.

#### Roof Framing- Steel columns with exposed wood trusses

- Wood trusses will be used to form the roof structure of the canopy.
- Steel beams and columns will be used for support of the trusses.

## 5.0 HVAC NARRATIVE

The building will be served by a variable-volume air-handling system with chilled water cooling and electric heat. Chilled water will be provided by two 40-ton air-cooled chillers (30% redundant capacity) and pumped to two air-handling units, approximately 30 tons and 12,000 CFM each. Each air-handling unit will consist of a filter/mixing box with 30% (minimum) filters, chilled water cooling coil with stainless steel drain pan, supply fan section with variable frequency drive, and will have efficiency and economizer capability in compliance with the current International Energy Conservation Code (IECC). When operating in economizer mode, the excess air will be relieved either at the mechanical room through louvers or through various relief and/or exhaust fans located appropriately throughout the building. Air-handling units will be located in mechanical rooms. The chillers will be located outside on grade on concrete equipment pads. Return air for the building will be via ceiling plenum return (not ducted). Sound sensitive rooms requiring return air transfer will be provided with lined return air transfer ducts. Any fire-rated wall penetrations will have appropriate fire and/or smoke dampers.

The air-handling units will supply cold primary air to variable-volume, fan-powered terminal boxes having electric heating coils. Supply air temperature will be reset based on outside temperature. Each terminal box will serve zones consisting of up to 1500 square feet based on space use and exposure. Large spaces such as the main conference room and court room will have dedicated terminal boxes for individual control. Fan-powered terminal boxes are recommended because of their ability to use plenum air to heat spaces at low heating load conditions. The electric heating coils will be energized only when the load cannot be met using warm plenum air.

Toilet rooms will be exhausted with in-line fans discharging directly to the outside.

Communication Rooms and any similar spaces requiring 24/7 cooling will be served by dedicated cooling only mini-split air-conditioning units.

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## **6.0 PLUMBING**

Domestic water for building will be provided from a new water meter with a 2” pipe entering the building in the mechanical room. Hot water will be provided by individual “mini-tank,” point-of-use, electric water heaters.

Natural gas will be provided to the building from a new gas meter. From the new meter a 1” pipe will enter the building and branch to the water heaters.

Domestic water piping above grade inside the building (both hot and cold) will be type L hard drawn copper joined with press fittings or traditional soldering. Sanitary sewer piping will be either cast iron or PVC (PVC piping will not be allowed in return air plenums). Natural gas piping inside the building above grade will be steel with threaded joints.

## **7.0 FIRE PROTECTION**

The building will be provided with a wet sprinkler system designed by a licensed fire protection engineer and installed by a licensed fire protection contractor. The main water service will enter the building in one of the mechanical rooms to feed the riser. From the riser, water will be supplied to sprinkler heads with type and density as appropriate for the given occupancy.

## **8.0 ELECTRICAL NARRATIVE**

### **Power Distribution**

The electrical service shall originate from a pad mounted utility transformer to be located on the Southeast end of the property. The electrical service shall run underground to a main electrical distribution panel to be located in an electrical room on the Southeast corner of the building.

The main electrical distribution panel shall be 1200 Amperes 277/440V 3-phase 4-wire and shall be equipped a main circuit breaker with ground fault interrupter and multiple branch circuit breakers feeding multiple panels and transformers to be located in the Southeast and Southwest electrical rooms. The main distribution panel shall be grounded in accordance with the 2011 National Electrical Code (NEC) article 250.

The HVAC and other large mechanical equipment shall be feed with 480V 3-phase power from 277/480V 3-phase 4-wire panels located in each electrical room. The building lighting shall be fed with 277V 1-phase power from separate 277/480V 3-phase 4-wire panels located in each electrical room.

The receptacles and the rest of the smaller equipment shall be fed at 120V and/or 208V 1-phase or 3-phase from 120/208V 3-phase 4-wire panels powered from step-down transformers to be located in each electrical room.

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All electrical distribution systems designed for this building shall be designed in accordance with the 2011 National Electrical Code with local City of Frisco amendments.

All conduits running through a building expansion joint shall be equipped with grounded expansion fittings. All conduit entries through a fire rated partition shall be packed with UL listed material.

All 120/208V 3-phase 4-wire panelboards shall be equipped with one solid ground bus and one insulated ground bus. Insulated ground bus shall be connected to the neutral of the transformer feeding it via an insulated ground conductor installed in conduit. Main distribution panel and 277/480V 3-phase 4-wire panelboards shall be equipped with a solid ground bus.

### **Emergency Generator**

Provisions shall be made for the building electrical system to be backed-up from an emergency diesel generator to be located in a sound-attenuated weatherproof residential type enclosure to be installed on the Southeast corner of the property 15 feet away from the utility transformer.

The proposed generator shall be 600 Kilowatt 277/480V 3-phase 4-wire and shall feed power underground to a 1200 Ampere 277/480V 4-pole automatic transfer switch to be located in the Southeast electrical room.

The emergency generator shall be equipped with a main local ground fault interrupter type circuit breaker. The emergency generator shall be grounded in accordance with the 2011 National Electrical Code article 250

The diesel fuel supply for the generator engine shall be provided in a double lined tank located below the emergency generator as part of the generator enclosure.

The automatic transfer switch shall be equipped a bypass/isolation feature for ease of maintenance and repair of the switch without power interruption.

The generator and automatic transfer switch and associated conductors shall be bid as an added alternate to the project. Conduits shall be provided as part of the main contract for possible future addition of described generator and automatic transfer switch in the event the added alternate is not included in the original scope of work.

### **Lighting**

Interior building lighting shall be powered at 277V 1-phase. Outdoor lighting shall be powered at 480V 1-phase and/or 277V 1-phase. All exterior lighting shall use LED type light source for ease of maintenance. Most of the interior lighting shall LED type with some lighting using some fluorescent lamps.

All lighting and lighting control devices shall meet the 2012 International Energy Conservation Code (IECC) with local City of Frisco amendments. Calculations shall be submitted to the City of Frisco as part of the permit process using the Department of Energy's (DOE) latest ComCheck Building Energy Code calculation program.

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Minimum lighting levels of 50 foot-candles shall be maintained in all offices, conference rooms, receptions, and other work extensive areas.

Minimum lighting levels of 30 foot-candles shall be maintained in all break rooms and utility rooms.

Minimum lighting levels of 20 foot-candles shall be maintained in all storage rooms, waiting rooms, and other areas used for public waiting.

Minimum lighting levels of 10 foot-candles shall be maintained in all corridors, lobbies, vestibules and other traffic areas.

Other lighting levels shall all meet the latest applicable requirements of the Illuminating Engineering Society of North America (IESNA).

All lighting sconces and wall mounted lighting fixtures shall be specified to meet the latest requirements of the Americans with Disabilities Act (ADA). All lighting control devices shall be installed to meet the ADA latest requirements.

### **Receptacles**

Except for special application, all receptacles shall be duplex and be rated at 125 Volt 20 Amperes. All receptacles used for computers shall be ground isolation type and shall be double duplex rated at 125 Volt 20 Amperes.

All receptacles used within 6 feet of a water source such as a sink or all outdoor receptacles shall be Ground Fault Circuit Interrupter type (GFCI) with test and reset buttons. All outdoor receptacles shall be weatherproof rated and shall be installed behind an in-use weatherproof cover.

There shall not be more that 7 duplex receptacles per circuit except for double duplex receptacles used for computers which shall not exceed more than 3 per circuit. All receptacles shall be installed to meet the ADA's latest requirements.

### **Telephone and Data**

Combination telephone and data outlets shall be used for computers and telephones, and shall be mounted in recessed double gang boxes equipped with single gang plaster rings. One inch conduits shall be installed from boxes to space above the ceiling with plastic bushings at both ends.

Telephone and data outlets shall be located in all offices, at each workstations and at other locations directed by Denton County. Telephone and data outlets shall installed to meet the ADA's latest requirements.

Each telephone outlet, data outlet and/or combination thereof shall be equipped with CAT5e jacks and wiring. Plenum rated cables shall be used in open ceiling spaces. All data and

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telephone wiring shall be Category 6 and shall be terminated on CAT5e patch panels to be located on a data rack mounted in center of the Communications Room. Exposed wiring shall not be used.

Two 4" PVC schedule 40 conduits shall run underground from a new telephone pedestal to be located on the Southeast of the property to one of the walls in the Communications Room.

A ¾" by 4'-0" by 8'-0" plywood sheet shall be fastened to the wall where the main telephone conduits will stub-up and shall be used by the telephone company to use as their terminal board. The plywood sheet shall be painted with 3 coats of fireproof paint and shall have a double duplex receptacle connected to a dedicated circuit installed for the telephone company's use.

A copper ground bus connected to the building ground system shall be install next to the telephone terminal board for the telephone company and other electronic equipment used in the Communication Room.

A double cable tray system shall be installed through the length of the building for telephone, data, security, door access, CCTV and other electronic and/or communication system cables and shall terminate in the Communications Room.

All cable entries into the Communications Room and through fire rated partitions shall be packed with UL listed material.

### **Fire Alarm System**

An addressable fire alarm system shall be designed and installed by state of Texas and City of Frisco approved Fire Alarm Company. The fire alarm system shall be designed in accordance with the 2006 International Fire Code (IFC) and local City of Frisco amendments.

Fire alarm system shall consist of appropriately located Fire Alarm Control Panel (FACP), annunciator panel(s), strobe lights and combination strobe lights and horns, smoke and/or heat detectors, duct smoke detectors, pull stations, sprinkler system flow alarms and valve tamper switches.

Fire alarm system shall be connected to the Denton County Sheriff's Department using an IP communicator compatible with the SurGard 1 System used by the Sheriff's Department.

### **Door Access Control, CCTV Systems and Miscellaneous Electronic Systems**

A Door Access System shall be installed to control strategically located doors throughout the building using key card proximity detection devices and electronic door hardware. The Door Access System control panels shall be located in the Communications Room.

A Closed Circuit TV (CCTV) system shall be installed with CCTV cameras mounted at strategic locations to monitor people access in and out of the building and departments. The CCTV head-end equipment shall be located in the Communications Room.

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Other miscellaneous systems such as cable TV system, security system with motion sensors shall be located throughout the building. The head-end equipment for all miscellaneous electronic systems shall be located in the Communications Room.

Location for all Door Access System devices, CCTV cameras and other miscellaneous electronic system devices shall be provided by Denton County.

### **Grounding**

All the electrical and electronic equipment used in this building shall be grounded and/or bounded in accordance with 2011 NEC article 250.

A buried ground ring with ground rods using exothermic connections shall be installed around the building and shall be connected to the building steel and the building grounding system.

Grounding electrodes type rods shall all be copper clad and all other ground electrodes shall be connected to the building grounding system in accordance with 2011 NEC article 250.

Ground bus shall be install in each electrical room and in the Communications Room. All ground buses shall be connected to the building ground using exothermic connections.

All transformer neutrals and enclosures shall be connected to the building grounding system.

All interior grounding conductors shall be insulated, marked with green tape or use green insulation and shall be installed in conduits.

A lightning protection system is not being planned at this time.

## **APPENDIX A**

### Overall Site Plan



## **APPENDIX B**

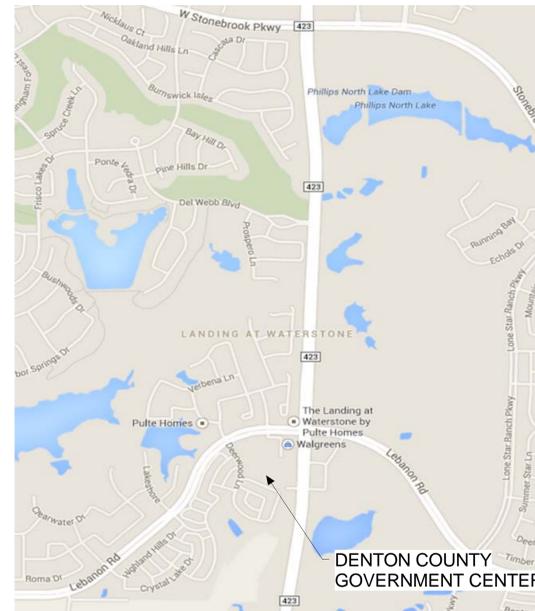
Architectural Site Plan, Floor Plan, and Elevations

# DENTON COUNTY GOVERNMENT CENTER - FRISCO NEW FACILITY

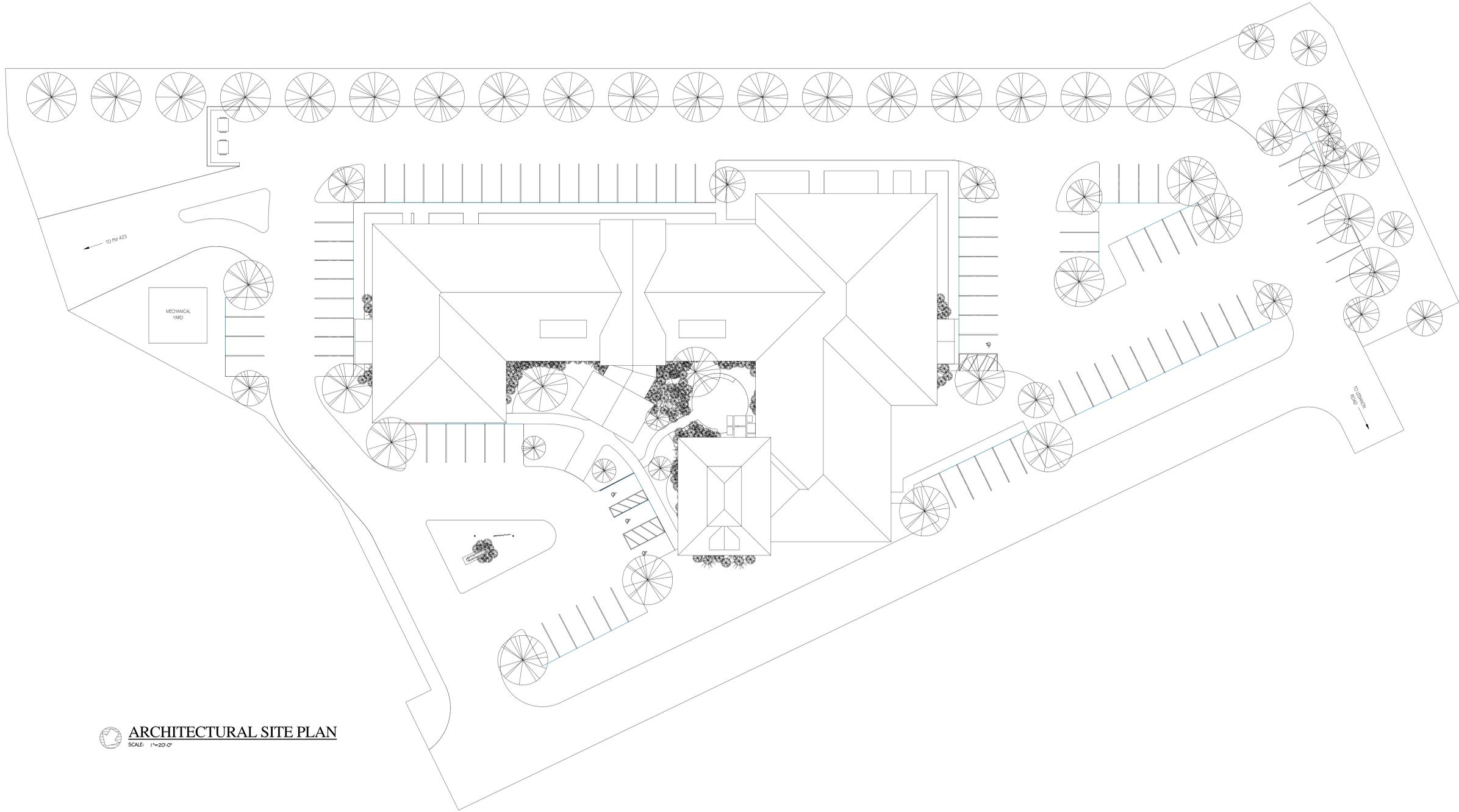


## FRISCO, TEXAS SCHEMATIC DESIGN DRAWINGS

DRAWING INDEX	
Sheet Number	Sheet Name
G0.1	COVER
C1.0	OVERALL SITE PLAN
A1.0	ARCHITECTURAL SITE PLAN
A2.0	FLOOR PLAN
A2.1	ROOF PLAN
A2.2	SPACE ALLOCATION PLAN
A5.0	EXTERIOR ELEVATIONS
A5.1	EXTERIOR ELEVATIONS



VICINITY MAP



**ARCHITECTURAL SITE PLAN**  
SCALE: 1"=20'-0"

Date: 2014-04-11  
Project No.: 13342  
Revision:

Drawn By: LMN  
Checked By: BJI  
Designed By: JTV

**ARCHITECTURAL  
SITE PLAN**

**A1.0**

**DENTON COUNTY GOVERNMENT CENTER - FRISCO**  
**NEW FACILITY**  
**PRECINCT ONE**  
**FRISCO,**  
**TEXAS**

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**EIKON**  
Texas Firm F-12769  
1405 W. Chaucer  
Springer, Texas 75286  
Phone (840)452-7533  
Fax (840)452-7417  
www.eikonsg.com

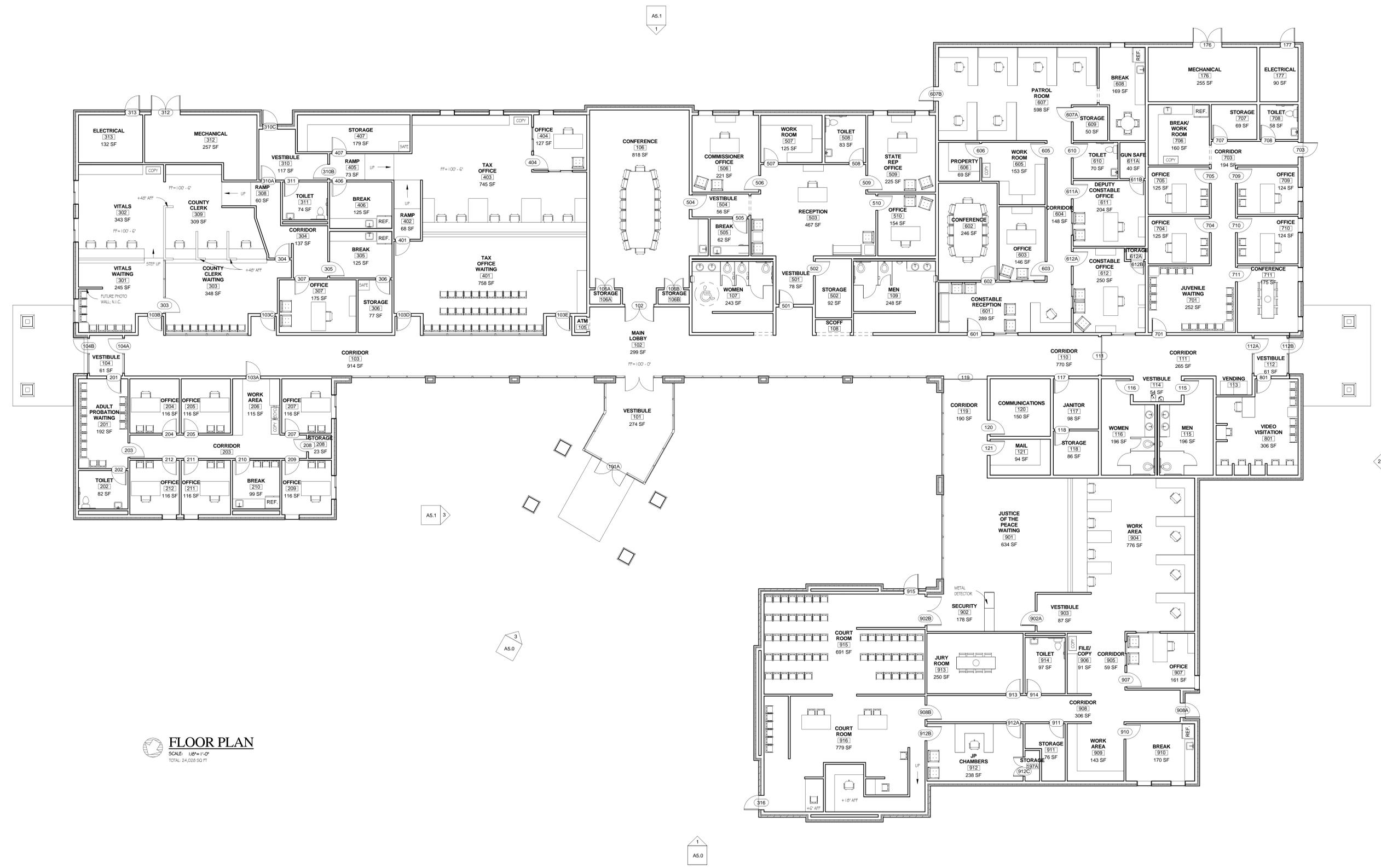
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**DENTON COUNTY GOVERNMENT CENTER - FRISCO**  
**NEW FACILITY**  
**PRECINCT ONE**  
**TEXAS**  
**FRISCO,**

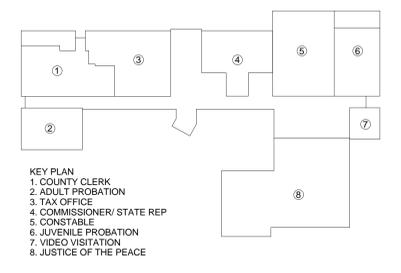
Date: 2014-04-11  
 Project No.: 13342  
 Revision:  
 Drawn By: LMN  
 Checked By: BJI  
 Designed By: JTJ

FLOOR PLAN

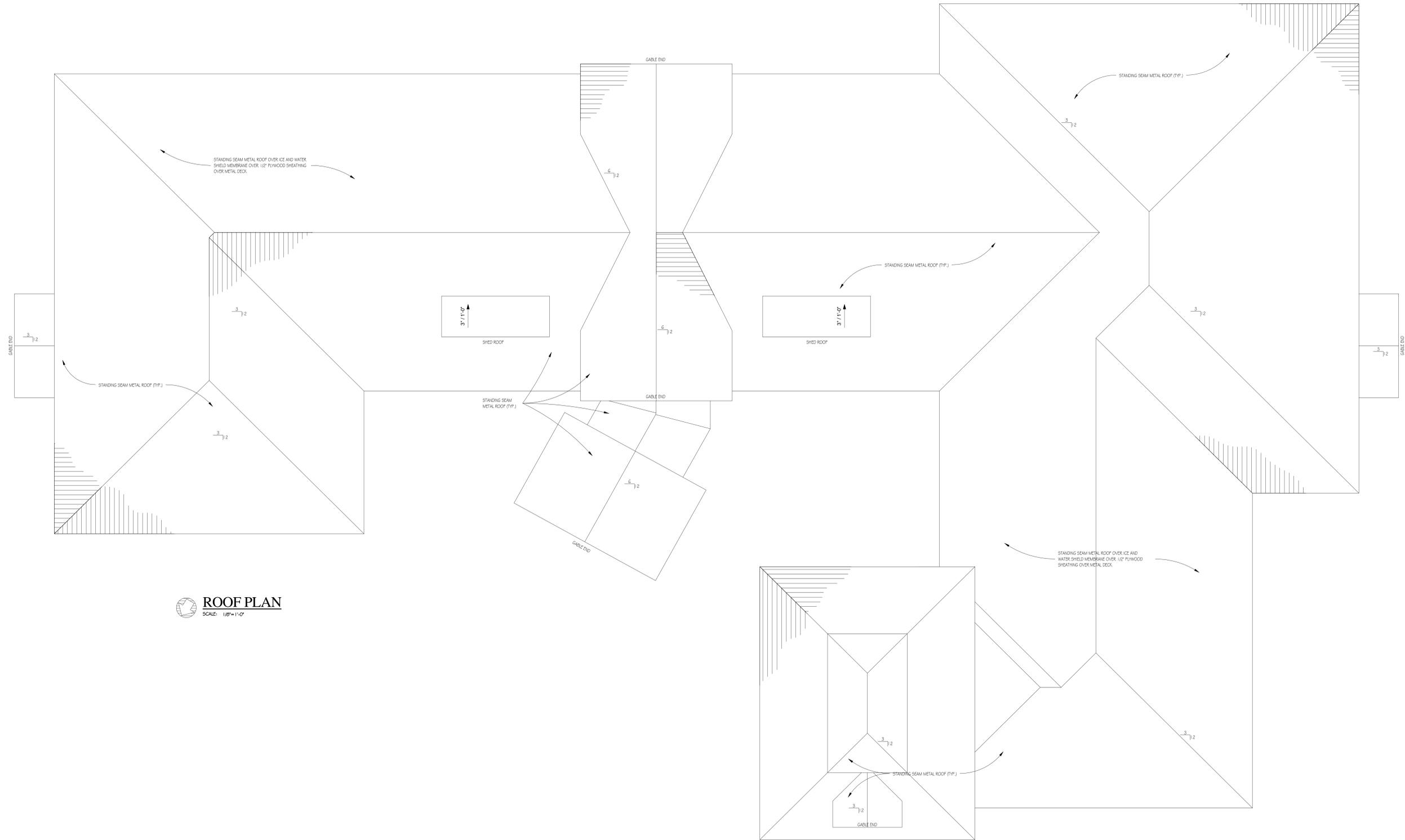
**A2.0**



**FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 TOTAL: 24,028.50 FT<sup>2</sup>



- KEY PLAN**
- 1. COUNTY CLERK
  - 2. ADULT PROBATION
  - 3. TAX OFFICE
  - 4. COMMISSIONER/ STATE REP
  - 5. CONSTABLE
  - 6. JUVENILE PROBATION
  - 7. VIDEO VISITATION
  - 8. JUSTICE OF THE PEACE



**ROOF PLAN**  
SCALE: 1/8"=1'-0"

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**DENTON COUNTY GOVERNMENT CENTER - FRISCO**  
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Date: 2014-04-11  
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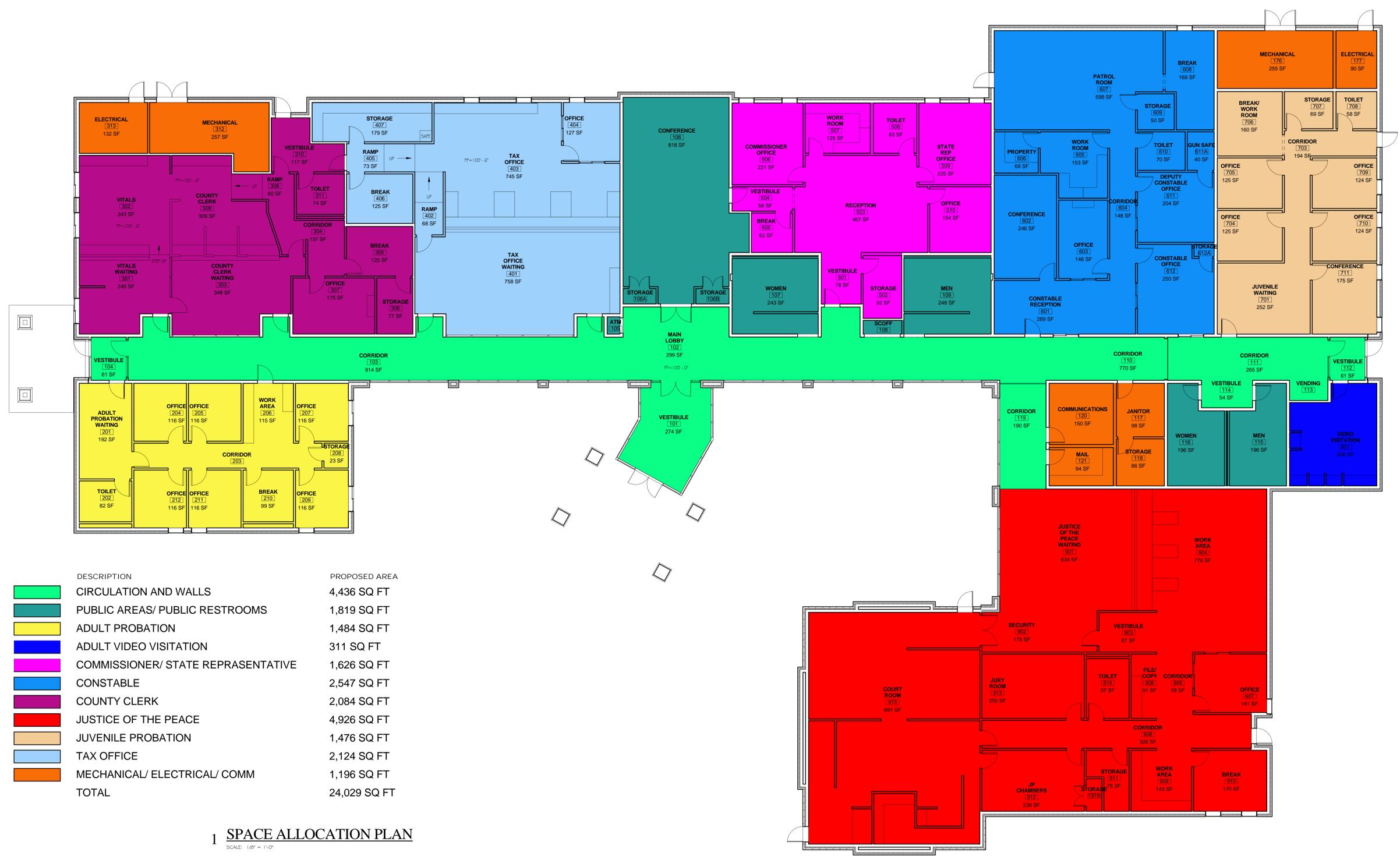
Drawn By: LMN  
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ROOF PLAN

**A2.1**

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**DENTON COUNTY GOVERNMENT CENTER - FRISCO**  
**NEW FACILITY**  
**PRECINCT ONE**  
**TEXAS**  
**FRISCO,**



DESCRIPTION	PROPOSED AREA
CIRCULATION AND WALLS	4,436 SQ FT
PUBLIC AREAS/ PUBLIC RESTROOMS	1,819 SQ FT
ADULT PROBATION	1,484 SQ FT
ADULT VIDEO VISITATION	311 SQ FT
COMMISSIONER/ STATE REPRESENTATIVE	1,626 SQ FT
CONSTABLE	2,547 SQ FT
COUNTY CLERK	2,084 SQ FT
JUSTICE OF THE PEACE	4,926 SQ FT
JUVENILE PROBATION	1,476 SQ FT
TAX OFFICE	2,124 SQ FT
MECHANICAL/ ELECTRICAL/ COMM	1,196 SQ FT
<b>TOTAL</b>	<b>24,029 SQ FT</b>

**1 SPACE ALLOCATION PLAN**  
 SCALE: 1/8" = 1'-0"

Date: 2014-04-11  
 Project No.: 13342  
 Revision:

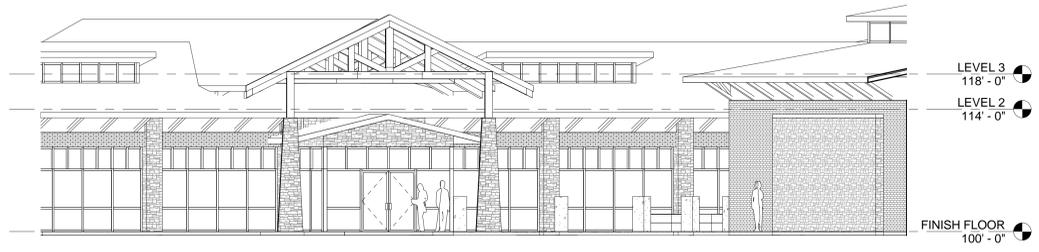
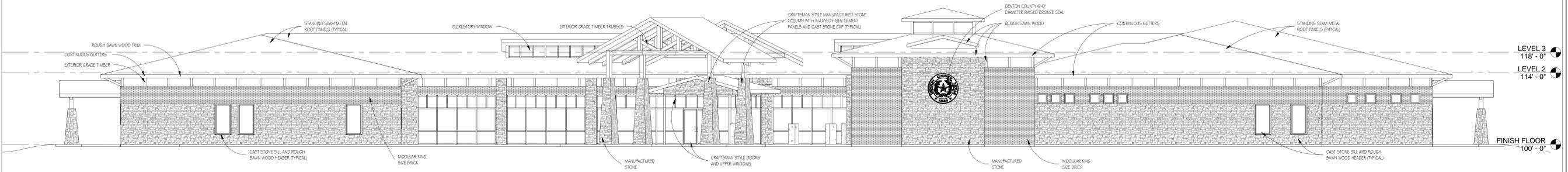
Drawn By: LMN  
 Checked By: BJI  
 Designed By: JTJ

**SPACE ALLOCATION PLAN**

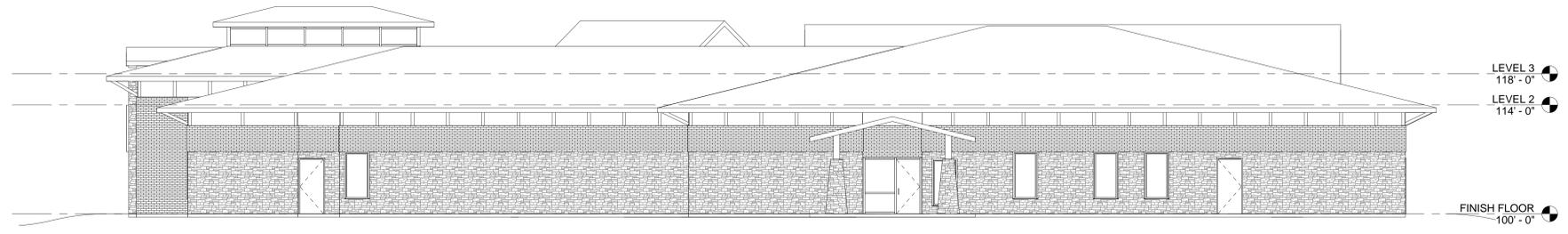
**A2.2**

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**DENTON COUNTY GOVERNMENT CENTER - FRISCO**  
**NEW FACILITY**  
**PRECINCT ONE**  
**TEXAS**  
**FRISCO,**



**3 MAIN ENTRY ELEVATION**  
 SCALE: 1/8" = 1'-0"



**2 WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"

Date: 2014-04-11  
 Project No.: 13342  
 Revision:

Drawn By: LMN  
 Checked By: BJI  
 Designed By: JTV

**EXTERIOR ELEVATIONS**

**A5.0**

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 PURPOSE OF INTERIM  
 REVIEW UNDER THE  
 AUTHORITY OF JIM  
 HOGAN  
 IT IS NOT TO BE USED FOR  
 CONSTRUCTION  
 PURPOSES.

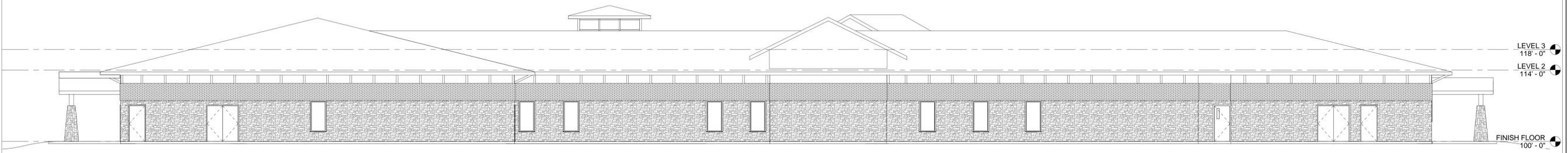
**DENTON COUNTY GOVERNMENT CENTER - FRISCO**  
**NEW FACILITY**  
**PRECINCT ONE**  
**TEXAS**  
**FRISCO,**

Date: 2014-04-11  
 Project No: 13342  
 Revision:

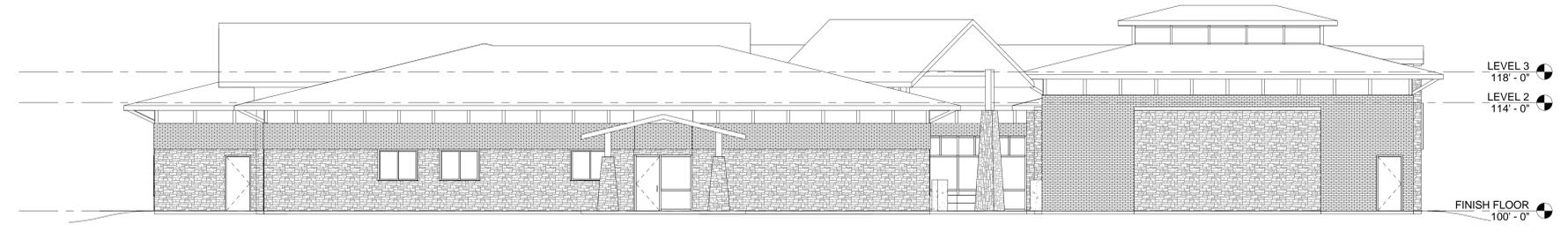
Drawn By: LMN  
 Checked By: BJI  
 Designed By: JTW

**EXTERIOR  
 ELEVATIONS**

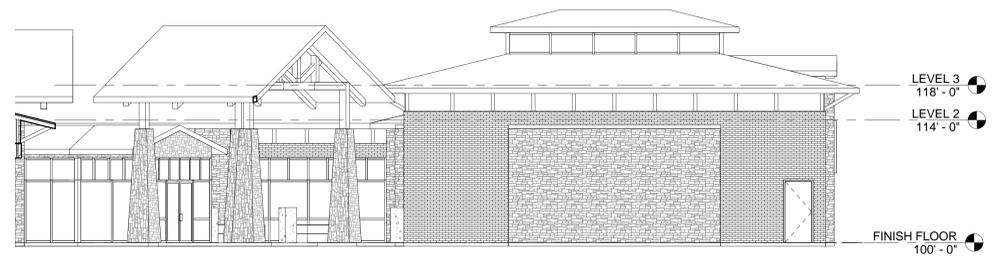
**A5.1**



**1 SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**2 EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**3 COURTYARD ELEVATION**  
 SCALE: 1/8" = 1'-0"

## **APPENDIX C**

### Architectural Renderings



Denton County Government Center - Frisco



Denton County Government Center - Frisco



Denton County Government Center - Frisco



Denton County Government Center - Frisco

## **APPENDIX D**

### Preliminary Opinion of Construction Cost

**Denton County Government Center**

Frisco, Texas

**Denton County Government Center - Frisco New Facility**

**SUMMARY - BASE BID**

Date of Estimate: April 8, 2014 (revised 4-11-14)

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<b><u>DIVISION NO.</u></b>	<b>TOTAL \$</b>	<b><u>\$/SF</u></b> <b><u>22,414 GSF</u></b>
DIVISION 01 - GENERAL REQUIREMENTS .....	w/ below	-
DIVISION 02 - EXISTING CONDITIONS .....		-
DIVISION 03 - CONCRETE .....	390,602	17.43
DIVISION 04 - MASONRY .....	196,082	8.75
DIVISION 05 - METALS .....	517,255	23.08
DIVISION 06 - WOOD & PLASTICS .....	223,377	9.97
DIVISION 07 - THERMAL & MOISTURE .....	527,424	23.53
DIVISION 08 - DOORS & WINDOWS .....	168,660	7.52
DIVISION 09 - FINISHES .....	581,586	25.95
DIVISION 10 - SPECIALTIES .....	48,062	2.14
DIVISION 11 - EQUIPMENT .....	-	-
DIVISION 12 - FURNISHINGS .....		-
DIVISION 13 - SPECIAL CONSTRUCTION .....	-	-
DIVISION 14 - CONVEYING .....	-	-
DIVISION 21 - FIRE SUPPRESSION .....	61,639	2.75
DIVISION 22 - PLUMBING .....	211,298	9.43
DIVISION 23 - HEATING, VENTILATING & AIR CONDITIONING .....	811,877	36.22
DIVISION 26 - ELECTRICAL .....	882,516	39.37
DIVISION 27 - COMMUNICATIONS .....	112,070	5.00
DIVISION 28 - ELECTRONIC SECURITY & SAFETY .....	89,656	4.00
DIVISION 31 - EARTHWORK .....	163,841	7.31
DIVISION 32 - EXTERIOR IMPROVEMENTS.....	544,345	24.29
DIVISION 33 - UTILITIES .....	76,900	3.43
<b>SUBTOTAL - DIRECT TRADE COST</b>	<b>5,607,190</b>	<b>250.16</b>
Add for General Conditions & Overhead - 10%	560,719	25.02
Add for Contractor's Fee - 5%	308,395	13.76
Add for Contingency -	500,000	22.31
		-
<b>ESTIMATED TOTAL</b>	<b>6,976,304</b>	<b>311.25</b>

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**Denton County Government Center**

Frisco, Texas

**Denton County Government Center - Frisco New Facility**

**SCHEMATIC DESIGN ESTIMATE - BASE BID**

Date of Estimate - April 8, 2010 (revised 4-11-14)

<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>DIVISION 02      EXISTING CONDITIONS</b>					
<b>Section</b>	02 41 13      Selective Site Demolition				
010	Remove site retaining walls		LF	25.00	
015	Remove concrete slabs, assumes no drilled foundations		SF	2.00	
020	Remove sidewalk paving		SF	1.25	
025	Remove trees		EA	450.00	
030	Saw cut asphalt		LF	4.56	
			<b>Reference</b>	02 41 13	<b>- Subtotal</b>
			<b>DIVISION 02</b>		<b>Total</b>

**Denton County Government Center**

Frisco, Texas

**Denton County Government Center - Frisco New Facility****SCHEMATIC DESIGN ESTIMATE - BASE BID**

Date of Estimate - April 8, 2010 (revised 4-11-14)

<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>DIVISION 03            CONCRETE</b>					
<b>Section</b>	03 06 30.13	Concrete Footing Schedule			
010	Drilled pier, excavation	475	CY	95.00	45,125
015	Drilled pier, reinforcing	36	TON	1,100.00	39,600
017	Drilled pier, concrete	475	CY	85.00	40,375
019	Drilled pier, casing	6,204	LF	15.00	93,060
020	Drilled pier, haul spoil	475	CY	12.00	5,700
				<b>Reference 03 06 30.13 Subtotal</b>	223,860
<b>Section</b>	03 11 00	Concrete Forming			
010	Form grade beams	6,276	SF	5.00	31,380
015	Perimeter slab edge/brick ledge	1,046	LF	6.75	7,061
025	Riser form in training		LF	9.50	
				<b>Reference 03 11 00 - Subtotal</b>	38,441
<b>Section</b>	03 21 00	Reinforcing Steel			
010	Reinforce perimeter and interior grade beams	13	TON	1,100.00	14,300
				<b>Reference 03 21 00 - Subtotal</b>	14,300
<b>Section</b>	03 31 00	Structural Concrete			
010	Concrete in slab on grade	439	CY	95.00	41,705

**Denton County Government Center**

Frisco, Texas

**Denton County Government Center - Frisco New Facility****SCHEMATIC DESIGN ESTIMATE - BASE BID**

Date of Estimate - April 8, 2010 (revised 4-11-14)

<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>Section</b>	03 31 00	Structural Concrete			
012	Reinforce slab on grade	36	TON	1,100.00	39,600
015	Concrete in grade beam	136	CY	95.00	12,920
020	Transition ramp		SF	25.00	
		<b>Reference</b>	03 31 00	<b>- Subtotal</b>	94,225
<b>Section</b>	03 35 00	Concrete Finishing			
010	Trowel slab	23,726	SF	0.75	17,795
012	Deburr and patch grade beam	6,276	SF	0.15	941
015	Trowel top of grade beam	1,224	SF	0.85	1,040
		<b>Reference</b>	03 35 00	<b>- Subtotal</b>	19,776
		<b>DIVISION 03</b>		<b>Total</b>	<b>390,602</b>

**Denton County Government Center**

Frisco, Texas

**Denton County Government Center - Frisco New Facility****SCHEMATIC DESIGN ESTIMATE - BASE BID**

Date of Estimate - April 8, 2010 (revised 4-11-14)

<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>DIVISION 04            MASONRY</b>					
<b>Section</b>	04 21 13	Brick Masonry			
010	Modular king size brick	8,820	SF	14.00	123,480
				<b>Reference 04 21 13 - Subtotal</b>	<b>123,480</b>
<b>Section</b>	04 22 00	Concrete Unit Masonry			
035	8" CMU-burnished partition		SF	12.50	
040	8" CMU-wood behind paneled partition		SF	10.00	
045	4" CMU Partition type, 4		SF	8.00	
050	CMU face , Split face		SF	11.00	
055	8" scored CMU grouted partition		SF	12.00	
060	CMU face, split face @ dumpster enclosure	928	SF	11.00	10,208
070	CMU face, split face @ mechanical yard	610	SF	40.00	24,400
				<b>Reference 04 22 00 - Subtotal</b>	<b>34,608</b>
<b>Section</b>	04 72 00	Cast Stone Masonry			
010	Manufactured stone	927	SF	22.00	20,394
020	Craftman style manufactured stone column (8)	800	SF	22.00	17,600
				<b>Reference 04 72 00 - Subtotal</b>	<b>37,994</b>
		<b>DIVISION 04</b>	<b>Total</b>		<b>196,082</b>

**Denton County Government Center**

Frisco, Texas

**Denton County Government Center - Frisco New Facility****SCHEMATIC DESIGN ESTIMATE - BASE BID**

Date of Estimate - April 8, 2010 (revised 4-11-14)

<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>DIVISION 05 METALS</b>					
<b>Section</b> 05 12 00	Structural Steel Framing				
010	Steel framing	98	TON	2,950.00	289,100
				<b>Reference 05 12 00 - Subtotal</b>	289,100
<b>Section</b> 05 21 00	Steel Joist Framing				
010	Steel joist framing	36	TON	2,550.00	91,800
				<b>Reference 05 21 00 - Subtotal</b>	91,800
<b>Section</b> 05 31 00	Steel Decking				
010	Metal deck, flat roof		SF	2.85	
015	Metal deck, sloped roof	32,942	SF	2.50	82,355
				<b>Reference 05 31 00 - Subtotal</b>	82,355
<b>Section</b> 05 50 00	METAL FABRICATIONS				
050	Allow for miscellaneous metals, based on 1.25#/sf	15	TON	3,600.00	54,000
				<b>Reference 05 50 00 - Subtotal</b>	54,000
<b>Section</b> 05 52 00	Metal Railings				
045	Metal Handrail		LF	125.00	
				<b>Reference 05 52 00 - Subtotal</b>	
				<b>DIVISION 05 Total</b>	<b>517,255</b>

**Denton County Government Center**

Frisco, Texas

**Denton County Government Center - Frisco New Facility****SCHEMATIC DESIGN ESTIMATE - BASE BID**

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>DIVISION 06            WOOD, PLASTICS, AND COMPOSITES</b>					
<b>Section</b>	06 10 00	ROUGH CARPENTRY			
010	Allow for rough carpentry	22,414	SF	0.50	11,207
015	Wood soffit	4,740	SF	7.50	35,550
		<b>Reference 06 10 00 - Subtotal</b>			<b>46,757</b>
<b>Section</b>	06 20 00	FINISH CARPENTRY			
010	8" CMU-wood paneled Partition type, 8W, wood veneer		SF	25.00	
020	Millwork,base cabinets with solid surface tops	244	LF	200.00	48,800
025	Millwork upper cabinets	166	LF	120.00	19,920
030	Millwork, built-in counter at room 114, 14X3	1	EA	1,750.00	1,750
035	Millwork, built-in counter at room 121, 21X3	1	EA	2,625.00	2,625
040	Millwork, privacy panel at counter at room 121, (2 @ 4X6)	2	EA	1,200.00	2,400
045	Millwork, built-in counter at room 128, 3X34	1	EA	4,250.00	4,250
050	Millwork, built-in desk at counter at room 128, 4X5	2	EA	2,500.00	5,000
055	Millwork, built-in desk at counter at room 128, 3X5	2	EA	1,875.00	3,750
060	Millwork, built-in counter at room 174, 2X17	1	EA	2,125.00	2,125
065	Millwork, built-in counter at room 174, 2X3	1	EA	375.00	375
070	Millwork, privacy panel at counter at room 174, 3" X4	5	EA	450.00	2,250
075	Millwork, built-in counter at room 187, 4X24	1	EA	3,000.00	3,000

**Denton County Government Center**

Frisco, Texas

**Denton County Government Center - Frisco New Facility**

**SCHEMATIC DESIGN ESTIMATE - BASE BID**

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>Section</b>	06 20 00	FINISH CARPENTRY			
080	Solid surface top at lavatories	25	LF	170.00	4,250
				<b>Reference 06 20 00 - Subtotal</b>	100,495
<b>Section</b>	06 20 13	Exterior Finish Carpentry			
010	Rough sawn wood trim	990	LF	7.50	7,425
015	Exterior grade timber trusses (exposed at entries)	3	EA	1,500.00	4,500
				<b>Reference 06 20 13 - Subtotal</b>	11,925
<b>Section</b>	06 40 23	Interior Architectural Woodwork			
010	Woodwork at courtroom	107	LF	600.00	64,200
				<b>Reference 06 40 23 - Subtotal</b>	64,200
				<b>DIVISION 06 Total</b>	<b>223,377</b>

**Denton County Government Center**

Frisco, Texas

**Denton County Government Center - Frisco New Facility****SCHEMATIC DESIGN ESTIMATE - BASE BID**

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>DIVISION 07 THERMAL AND MOISTURE PROTECTION</b>					
<b>Section</b>	07 12 00	Built-Up Bituminous Waterproofing			
010	Waterproofing on stud backing	10,547	SF	1.50	15,821
<b>Reference 07 12 00 - Subtotal</b>					15,821
<b>Section</b>	07 21 00	Thermal Insulation			
017	Rigid insulation on stud backing	10,547	SF	2.00	21,094
019	Rigid insulation below standing seam roof	32,942	SF	2.20	72,472
020	Batt insulation in stud backing	10,547	SF	0.75	7,910
035	8" CMU-Burnished Partition type, 8G, 1/2" rigid insulation		SF	2.50	
<b>Reference 07 21 00 - Subtotal</b>					101,477
<b>Section</b>	07 24 00	Exterior Insulation and Finish Systems			
010	Diamond shaped EIFS		SF	11.00	
<b>Reference 07 24 00 - Subtotal</b>					
<b>Section</b>	07 41 13	Metal Roof Panels			
010	Standing seam roof	32,942	SF	12.00	395,304
<b>Reference 07 41 13 - Subtotal</b>					395,304
<b>Section</b>	07 52 00	Modified Bituminous Membrane Roofing			
010	Roof membrane with insulation		SF	9.50	



**Denton County Government Center**

Frisco, Texas

**Denton County Government Center - Frisco New Facility****SCHEMATIC DESIGN ESTIMATE - BASE BID**

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>DIVISION 08            OPENINGS</b>					
<b>Section</b>	08 11 13	Hollow Metal Doors and Frames			
100	Hollow metal single door/HM Frame	4	EA	1,500.00	6,000
110	Hollow metal Double door/HM Frame	2	EA	1,800.00	3,600
120	Door frame, type HM-W, Single		EA	190.00	
130	Door frame, type HM-W2, Double		PR	210.00	
			<b>Reference</b>	08 11 13	<b>- Subtotal</b>
					9,600
<b>Section</b>	08 11 16	Aluminum Doors and Frames			
100	AL/GL double door store front at main entry	2	PR	3,600.00	7,200
110	AL/GL single door, store front	4	EA	1,800.00	7,200
115	AL/GL single door, interior	10	EA	1,600.00	16,000
120	Door frame, type AL-SF2, Double		PR	200.00	
130	Door frame, type AL-KD, Single		EA	200.00	
140	Door frame, type AL-SF1, Single		EA	200.00	
			<b>Reference</b>	08 11 16	<b>- Subtotal</b>
					30,400
<b>Section</b>	08 14 00	Wood Doors			
110	Wood single door, type B		EA	300.00	
120	Wood single door, AL frame	62	EA	900.00	55,800

**Denton County Government Center**

Frisco, Texas

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>Section</b>	08 14 00	Wood Doors			
130	Wood double door, Al frame	2	PR	1,200.00	2,400
140	Wood double door, type A2		PR	350.00	
150	Wood double door, type A		PR	350.00	
155	Wood, bifold, storage/AL frame	3	PR	1,500.00	4,500
160	FEMA 361 single door & frame complete @communication room		EA	5,000.00	
			<b>Reference 08 14 00 - Subtotal</b>		<b>62,700</b>
<b>Section</b>	08 40 00	ENTRANCES, STOREFRONTS, AND CURTAIN WALLS			
010	Window type A, 55 SF		EA	2,640.00	
020	Window type C, 89 SF		EA	4,272.00	
030	Window type E, 32 SF		EA	2,655.00	
040	Window type F, 59 SF		EA	2,832.00	
050	Window type G, 32 SF		EA	1,440.00	
060	Window type H, 33 SF		EA	1,485.00	
070	Window type J, 24 SF		EA	1,080.00	
080	Window type K, 18 SF		EA	756.00	
090	Window type L, 32 SF		EA	1,440.00	
100	Window type M, 190 SF		EA	9,120.00	
110	Window type V, 9 SF		EA	378.00	

**Denton County Government Center**

Frisco, Texas

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>Section</b>	08 40 00	ENTRANCES, STOREFRONTS, AND CURTAIN WALLS			
120	Window type X, 106 SF		EA	5,088.00	
130	Window type Y, 77 SF		EA	3,234.00	
140	Clerestory	34	SF	50.00	1,700
		<b>Reference</b>	08 40 00	<b>- Subtotal</b>	1,700
<b>Section</b>	08 43 13	Aluminum -Framed Storefronts			
010	Storefront glass	620	SF	45.00	27,900
		<b>Reference</b>	08 43 13	<b>- Subtotal</b>	27,900
<b>Section</b>	08 50 00	WINDOWS			
010	Interior glass partition	101	LF	360.00	36,360
		<b>Reference</b>	08 50 00	<b>- Subtotal</b>	36,360
<b>Section</b>	08 71 00	Door Hardware			
010	Single door hardware		EA	700.00	
020	Double door hardware		EA	900.00	
		<b>Reference</b>	08 71 00	<b>- Subtotal</b>	
		<b>DIVISION 08</b>	<b>Total</b>		<b>168,660</b>

**Denton County Government Center**

Frisco, Texas

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>	
<b>DIVISION 09 FINISHES</b>						
<b>Section</b>	09 21 16	Gypsum Board Assemblies				
010	Gypsum board ceiling		SF	8.00		
020	Deck high partitions	37,072	SF	6.50	240,968	
030	One hour wall, deck high		SF	5.10		
035	8" CMU-Burnished Partition type, 8G, furring		SF	4.15		
040	Metal stud barking	10,547	SF	8.50	89,650	
050	Walls to receive batt insulation		SF	6.50		
060	Partition to extend 6" above ceiling		SF	5.90		
070	Partition to ceiling height	1,400	SF	6.15	8,610	
			<b>Reference</b>	09 21 16	<b>- Subtotal</b>	339,228
<b>Section</b>	09 24 23	Portland Cement Stucco				
010	Stucco plaster @ soffit		SF	12.00		
			<b>Reference</b>	09 24 23	<b>- Subtotal</b>	
<b>Section</b>	09 30 13	Ceramic Tiling				
010	Porcelain tile flooring	4,662	SF	10.00	46,620	
020	Porcelain tile base	1,370	LF	6.00	8,220	
030	Porcelain tile wall	3,630	SF	7.50	27,225	



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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>Section</b>	09 68 00	Carpeting			
010	Carpet flooring	5,147	SF	4.00	20,588
		<b>Reference</b>	09 68 00	<b>- Subtotal</b>	20,588
<b>Section</b>	09 69 00	Access Flooring			
010	Raised flooring		SF	12.00	
		<b>Reference</b>	09 69 00	<b>- Subtotal</b>	
<b>Section</b>	09 90 00	PAINTING AND COATING			
020	Paint exposed structure		SF	1.50	
		<b>Reference</b>	09 90 00	<b>- Subtotal</b>	
<b>Section</b>	09 91 23	Interior Painting			
020	Paint, wall	56,456	SF	0.65	36,696
030	Paint gypsum board ceiling		SF	0.85	
		<b>Reference</b>	09 91 23	<b>- Subtotal</b>	36,696
		<b>DIVISION 09</b>	<b>Total</b>		<b>581,586</b>

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>DIVISION 10      SPECIALTIES</b>					
<b>Section</b>	10 14 00	Signage			
010	Signage, allowance	22,414	LS	0.85	19,052
015	Betterment allowance		LS	75,000.00	
020	Monument signage	1	EA	12,000.00	12,000
			<b>Reference</b>	10 14 00 - <b>Subtotal</b>	31,052
<b>Section</b>	10 21 13	Toilet Compartments			
010	Toilet partition	4	EA	900.00	3,600
020	Toilet partition, ADA	4	EA	1,000.00	4,000
030	Urinal screen		EA	600.00	
			<b>Reference</b>	10 21 13 - <b>Subtotal</b>	7,600
<b>Section</b>	10 26 00	Wall and Door Protection			
110	Corner guards		EA	150.00	
			<b>Reference</b>	10 26 00 - <b>Subtotal</b>	
<b>Section</b>	10 28 13	Toilet Accessories			
010	Mail slots		EA	1,500.00	
020	Soap dish/shelf		EA	25.00	
	Mirror at wall hung lavatories	5	EA	150.00	750

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>Section</b>	10 28 13 Toilet Accessories				
025	Mirror at counter mounted lavatores	25	LF	72.00	1,800
030	Toilet paper dispenser	14	EA	65.00	910
040	Paper towel dispenser	6	EA	75.00	450
045	Paper towel dispenser/trash receptacle combo unit	4	EA	500.00	2,000
050	Grab bars	20	EA	120.00	2,400
060	Bench		EA	250.00	
070	Mop/broom holder	1	EA	125.00	125
080	Soap dispenser	13	EA	75.00	975
090	Curtain rod		EA	50.00	
100	Shower seat		EA	250.00	
		<b>Reference</b>	10 28 13	<b>- Subtotal</b>	9,410
<b>Section</b>	10 44 13 Fire Extinguisher Cabinets				
120	Fire Extinguisher Cabinet		EA	250.00	
		<b>Reference</b>	10 44 13	<b>- Subtotal</b>	
		<b>DIVISION 10</b>		<b>Total</b>	<b>48,062</b>

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>DIVISION 12      FURNISHINGS</b>					
<b>Section</b>	12 21 13	Horizontal Louver Blinds			
010	Window blinds, Meco		LF	90.00	
			<b>Reference</b>	12 21 13	<b>- Subtotal</b>
			<b>DIVISION 12</b>		<b>Total</b>

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>DIVISION 21      FIRE SUPPRESSION</b>					
<b>Section</b>	21 13 13	Wet-Pipe Sprinkler Systems			
010	Fire sprinkler system	22,414	SF	2.75	61,639
		<b>Reference</b>	21 13 13	<b>- Subtotal</b>	61,639
		<b>DIVISION 21</b>		<b>Total</b>	<b>61,639</b>

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>DIVISION 22 PLUMBING</b>					
<b>Section</b> 22 11 16	Domestic Water Piping				
010	Allow for domestic piping, includes insulation	22,414	SF	4.00	89,656
				<b>Reference 22 11 16 - Subtotal</b>	89,656
<b>Section</b> 22 11 19	Domestic Water Piping Specialties				
010	Water softener	0	EA	12,000.00	0
				<b>Reference 22 11 19 - Subtotal</b>	0
<b>Section</b> 22 11 23	Domestic Water Pumps				
020	Recirculating pump, 10 GPM	0	EA	2,500.00	0
				<b>Reference 22 11 23 - Subtotal</b>	0
<b>Section</b> 22 13 16	Sanitary Waste and Vent Piping				
010	Allow for sanitary piping	22,414	SF	3.00	67,242
				<b>Reference 22 13 16 - Subtotal</b>	67,242
<b>Section</b> 22 13 19.13	Sanitary Drains				
020	Floor drain		EA	350.00	
				<b>Reference 22 13 19.13 Subtotal</b>	
<b>Section</b> 22 33 13.16	Thermostat-Control, Instantaneous Electric Domestic Water Heaters				
010	Insta hots at sinks	20	EA	900.00	18,000

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>Section</b> 22 33 13.16	Thermostat-Control, Instantaneous Electric Domestic Water Heaters				
				<b>Reference 22 33 13.16 Subtotal</b>	18,000
<b>Section</b> 22 34 36	Commercial Gas Domestic Water Heaters				
010	Tankless water heaters, 199,000 BTUH		EA	10,000.00	
				<b>Reference 22 34 36 - Subtotal</b>	
<b>Section</b> 22 40 00	PLUMBING FIXTURES				
060	Mop sink	1	EA	1,500.00	1,500
090	Sink, single compartment	6	EA	800.00	4,800
110	Water closet, ADA	10	EA	1,100.00	11,000
120	Water closet	4	EA	1,000.00	4,000
130	Lavatory, counter mtd.	8	EA	800.00	6,400
135	Lavatory, wall hung	6	EA	900.00	5,400
140	Shower		EA	1,500.00	
150	Urinal	2	EA	900.00	1,800
160	Electric water cooler, bi-lvl	1	EA	1,500.00	1,500
				<b>Reference 22 40 00 - Subtotal</b>	36,400
				<b>DIVISION 22 Total</b>	<b>211,298</b>



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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>Section</b>	23 31 00	HVAC Ducts and Casings			
010	Allow for ductwork		LB	7.10	
020	Round ductwork		LB	6.90	
	Allow for insulation		SF	1.50	
030	Insulation to rectangular ductwork	25,403	SF	2.80	71,128
040	Insulation to round ductwork		SF	2.80	
		<b>Reference</b>	23 31 00	<b>- Subtotal</b>	341,667
<b>Section</b>	23 35 00	Special Exhaust Systems			
010	Roof ventilator, 500 CFM		EA	1,500.00	
020	Roof ventilator, 1000 CFM		EA	2,500.00	
030	Roof ventilator, 1500 CFM		EA	3,000.00	
040	Allow for exhaust systems	22,414	SF	0.85	19,052
050	Exhaust fan, 300 CFM		EA	600.00	
060	Exhaust fan, 525 CFM		EA	650.00	
070	Supply fan, 410 CFM		EA	300.00	
080	Supply fan, 455 CFM		EA	300.00	
090	Supply fan, 495 CFM		EA	300.00	
		<b>Reference</b>	23 35 00	<b>- Subtotal</b>	19,052
<b>Section</b>	23 36 16	Variable-Air-Volume Units			

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>Section</b>	23 36 16 Variable-Air-Volume Units				
010	Allow for HVAC equipment	22,414	SF	8.00	179,312
020	VRV unit, 0.75 Ton		EA	800.00	
030	VRV unit, 1 Ton		EA	850.00	
040	VRV unit, 1.25 Ton		EA	1,062.50	
050	VRV unit, 1.5 Ton		EA	1,275.00	
060	VRV unit, 2 Ton		EA	1,700.00	
070	VRV unit, 2.5 Ton		EA	2,125.00	
080	VRV unit, 3 Ton		EA	2,550.00	
090	VRV unit, 4 Ton		EA	3,400.00	
			<b>Reference</b>	23 36 16 - <b>Subtotal</b>	179,312
<b>Section</b>	23 37 00 Air Outlets and Inlets				
010	Condenser unit, 10 Ton		EA	12,000.00	
			<b>Reference</b>	23 37 00 - <b>Subtotal</b>	
<b>Section</b>	23 37 13 Diffusers, Registers, and Grilles				
010	Allow for air devices	22,414	SF	1.56	34,966
020	Air device type, B		EA	120.00	
030	Air device type, E		EA	110.00	
040	Air device type, F		EA	150.00	

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>Section</b>	23 37 13				
	Diffusers, Registers, and Grilles				
050	Air device type, G		EA	120.00	
060	Air device type, H		EA	150.00	
070	Air device type, S		EA	300.00	
080	Volume damper		EA	150.00	
			<b>Reference</b>	23 37 13	<b>- Subtotal</b>
					34,966
<b>Section</b>	23 64 00				
	Packaged Water Chillers				
010	Chiller, 40 Ton	2	EA	47,000.00	94,000
020	Chill water supply/return pumps	4	EA	3,500.00	14,000
			<b>Reference</b>	23 64 00	<b>- Subtotal</b>
					108,000
			<b>DIVISION 23</b>	<b>Total</b>	<b>811,877</b>

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>DIVISION 26            ELECTRICAL</b>					
<b>Section</b>	26 20 00	LOW-VOLTAGE ELECTRICAL TRANSMISSION			
010	Allow for wiring and distribution	22,414	SF	15.00	336,210
020	Duplex receptacle		EA	65.00	
030	Duplex receptacle, GFI		EA	75.00	
040	Quadraplex receptacle		EA	75.00	
050	Junction box		EA	60.00	
060	Duplex/data/voice floor box		EA	400.00	
070	Disconnect, 1000A		EA	1,200.00	
			<b>Reference</b>	26 20 00 - <b>Subtotal</b>	336,210
<b>Section</b>	26 22 00	Low-Voltage Transformers			
010	Transformer, 75 KVA		EA	11,600.00	
	Allow for transformers	22,414	SF	1.50	33,621
			<b>Reference</b>	26 22 00 - <b>Subtotal</b>	33,621
<b>Section</b>	26 24 16	Panelboards			
010	Allow for switchgear and panels	22,414	SF	5.00	112,070
	Main switchboard, 800A		EA	10,000.00	
			<b>Reference</b>	26 24 16 - <b>Subtotal</b>	112,070





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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>Section</b>	26 56 00 Exterior Lighting				
010	Allow for exterior lighting/site lighting	61,156	SF	1.50	91,734
	Light fixture type "EW-1", exterior wall light		EA	350.00	
		<b>Reference</b>	26 56 00	<b>- Subtotal</b>	91,734
		<b>DIVISION 26</b>		<b>Total</b>	<b>882,516</b>

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>DIVISION 27            COMMUNICATIONS</b>					
<b>Section</b> 27 05 13	Communications Services				
010	Data/voice outlet		EA	290.00	
020	Voice outlet		EA	290.00	
030	TV outlet		EA	250.00	
			<b>Reference 27 05 13</b>	<b>- Subtotal</b>	
<b>Section</b> 27 20 00	DATA COMMUNICATIONS				
010	Allow for data/voice infrastructure and cabling	22,414	SF	5.00	112,070
			<b>Reference 27 20 00</b>	<b>- Subtotal</b>	112,070
			<b>DIVISION 27</b>	<b>Total</b>	<b>112,070</b>

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>DIVISION 28 ELECTRONIC SAFETY AND SECURITY</b>					
<b>Section</b>	28 10 00	ELECTRONIC ACCESS CONTROL AND INTRUSION DETECTION			
010	Allow for security infrastructure	22,414	SF	1.50	33,621
<b>Reference 28 10 00 - Subtotal</b>					33,621
<b>Section</b>	28 13 00	Access Control			
010	Camera, OFOI		EA		
020	Electric door control, OFOI		EA		
025	Card reader, included in hardware		EA		
030	Request to exit, OFOI		EA		
040	Microphone, OFOI		EA		
050	Video monitoring, OFOI		LS		
070	Conduit & wire		LS	4,000.00	
080	Local master intercom station		EA	2,500.00	
090	Local slave intercom station		EA	1,500.00	
100	Access control panel/computer interface		LS	7,500.00	
<b>Reference 28 13 00 - Subtotal</b>					
<b>Section</b>	28 31 53	Fire Alarm Initiating Devices			
010	Allow for fire alarm system	22,414	SF	2.50	56,035

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>Section</b>	28 31 53	Fire Alarm Initiating Devices			
				<b>Reference</b>	
		28 31 53		<b>- Subtotal</b>	56,035
				<b>DIVISION 28</b>	
				<b>Total</b>	<b>89,656</b>

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>DIVISION 31            EARTHWORK</b>					
<b>Section</b>	31 00 00	EARTHWORK			
010	Excavate for grade beams	408	CY	8.50	3,468
020	Select fill for slab perimeter/grade beams, allows 5' total depth	4,394	CY	12.00	52,728
030	Excavate for concrete slab, allows 1'	4,394	CY	8.50	37,349
040	Level and grade bottom of excavation	23,725	SF	0.25	5,931
050	Haul spoil, grade beams	408	CY	12.00	4,896
060	Slab related earthwork, per slab area	23,725	SF	1.75	41,519
		<b>Reference</b>	31 00 00	<b>- Subtotal</b>	145,891
<b>Section</b>	31 25 00	Erosion and Sedimentation Controls			
010	Construction exit	1,500	SF	2.50	3,750
		<b>Reference</b>	31 25 00	<b>- Subtotal</b>	3,750
<b>Section</b>	31 25 13	Erosion Controls			
010	Erosion Controls	1,200	LF	3.50	4,200
015	SWPPP maintenance/reports	1	LS	10,000.00	10,000
		<b>Reference</b>	31 25 13	<b>- Subtotal</b>	14,200
		<b>DIVISION 31</b>	<b>Total</b>		<b>163,841</b>

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>DIVISION 32 EXTERIOR IMPROVEMENTS</b>					
<b>Section</b>	32 01 16.74	In Place Hot Reused Asphalt Paving			
010	Hot mix asphalt concrete (HMAC)		SF	5.50	
<b>Reference 32 01 16.74 Subtotal</b>					
<b>Section</b>	32 10 00	BASES, BALLASTS, AND PAVING			
050	Generator pad		SF	15.00	
055	Concrete steps		SF	25.00	
<b>Reference 32 10 00 - Subtotal</b>					
<b>Section</b>	32 13 13	Concrete Paving			
010	Parking/drive paving	61,156	SF	6.25	382,225
025	Allow for Ramp	4	EA	750.00	3,000
055	Spill curb		LF	11.00	
060	Catch curb and gutter	1,807	LF	11.00	19,877
065	Lay down curb		LF	9.00	
075	Sidewalk		SF	4.10	
<b>Reference 32 13 13 - Subtotal</b>					
					405,102
<b>Section</b>	32 17 23	Pavement Markings			
010	Parking sign, ADA	4	EA	150.00	600

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<b>Section</b>	32 17 23	Pavement Markings			
020	Parking space, allowance for parking space markings		LS	2,500.00	
030	Parking space, ADA	4	EA	125.00	500
040	Handicap symbol	4	EA	125.00	500
050	Parking diagonal stripes		SF	2.00	
		<b>Reference</b>	32 17 23	<b>- Subtotal</b>	1,600
<b>Section</b>	32 31 00	Fences and Gates			
110	Double door for Generator, Exterior		EA	1,500.00	
120	Dumpster double door	1	EA	2,500.00	2,500
130	Dumpster enclosure	30	LF	150.00	4,500
		<b>Reference</b>	32 31 00	<b>- Subtotal</b>	7,000
<b>Section</b>	32 32 00	Retaining Walls			
010	Retaining Walls, cast in place	225	LF	150.00	33,750
020	Retaining Walls, split face	225	LF	120.00	27,000
		<b>Reference</b>	32 32 00	<b>- Subtotal</b>	60,750
<b>Section</b>	32 80 00	IRRIGATION			
010	Allow for irrigation	30,173	SF	0.60	18,104
		<b>Reference</b>	32 80 00	<b>- Subtotal</b>	18,104

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<b>Ref</b>	<b>Description</b>	<b>Qty</b>	<b>Unit</b>	<b>Rate</b>	<b>Total</b>
<b>Section</b>	32 90 00 PLANTING				
010	Screening shrub	21	EA	35.00	735
020	Parking lot tree	21	EA	250.00	5,250
030	Screening tree	19	EA	300.00	5,700
040	Street tree	5	EA	400.00	2,000
050	Turf grass sod	30,173	SF	0.60	18,104
060	Allow for additional landscaping	1	LS	5,000.00	5,000
070	Allow for wedding area	1	LS	15,000.00	15,000
		<b>Reference</b>	32 90 00	<b>- Subtotal</b>	51,789
		<b>DIVISION 32</b>		<b>Total</b>	<b>544,345</b>

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<b>DIVISION 33 UTILITIES</b>					
<b>Section</b>	33 00 00	UTILITIES			
010	Allow for Site Utilities hook up and connections	1	LS	20,000.00	20,000
<b>Reference 33 00 00 - Subtotal</b>					<b>20,000</b>
<b>Section</b>	33 10 00	WATER UTILITIES			
010	8"X8" Tapping sleeve		EA	4,500.00	
020	8" Gate valve		EA	3,200.00	
030	6" Water line		LF	45.00	
040	2" Domestic water		LF	30.00	
050	6" Fire line		LF	45.00	
060	Double check valve backflow		EA	8,500.00	
070	6"X6" Tee		EA	750.00	
080	6" Gate valve		EA	2,800.00	
090	6"X2" Tapping sleeve		EA	2,900.00	
100	2" Valve		EA	1,200.00	
110	6"X4" Wye fitting		EA	600.00	
130	Water connection		EA	2,500.00	
140	Rpz backflow preventer		EA	7,500.00	

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<b>Section</b>	33 10 00	WATER UTILITIES			
		<b>Reference</b>	33 10 00	<b>- Subtotal</b>	
<b>Section</b>	33 11 19	Fire Suppression Utility Water Distribution Piping			
010	Fire riser		EA	1,500.00	
		<b>Reference</b>	33 11 19	<b>- Subtotal</b>	
<b>Section</b>	33 30 00	SANITARY SEWERAGE UTILITIES			
010	Horizontal boring		LF	175.00	
020	4" PVC sanitary sewer		LF	60.00	
030	Two way cleanout		EA	900.00	
		<b>Reference</b>	33 30 00	<b>- Subtotal</b>	
<b>Section</b>	33 40 00	STORM DRAINAGE UTILITIES			
010	Allow for storm line	720	LF	35.00	25,200
020	Inlet	11	EA	2,200.00	24,200
030	Headwall	3	EA	2,500.00	7,500
		<b>Reference</b>	33 40 00	<b>- Subtotal</b>	56,900
		<b>DIVISION 33</b>	<b>Total</b>		<b>76,900</b>

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				<b>DIVISION 1 - 16 TOTAL :</b>	5,607,188